



Mike Miller, President
W2955 County Road Z
Eau Claire, WI 54701
715-579-6443
Mike@whitehorsebuilds.com
www.whitehorsebuilds.com

Knapp Street Housing Development

City of Chetek proposal

September 21, 2020



1. Developer's background

Mike Miller, President of Whitehorse Construction has been in the construction and development business over 40 years and almost \$880,000,000 of construction projects. He has worked in many parts of the US, from the North Central States to Florida and Texas and Toronto and Alberta Canada.

My construction project career spans from large Industrial Municipal, Industrial Sand Processing, Office/Residential, Civic, Hotel, Warehouse, Land development, Educational and Retail projects.

Chosen to manage several construction companies, I often managed about 100 men daily while managing projects in addition to my other management duties and responsibilities.

Of note, developed the first large format flat storage transload and storage facility in North America that allowed processing plants to ship materials on a tight rail schedule. Additionally, I developed and constructed the largest Transload facility in Western Canada which still dominates all facilities in the Northern Hemisphere at the time of completion.

This a brief summary of my construction experience and background. Please see the complete resume and project list attached to Tab 2.

2. Summary of the proposed development

Based on the housing study that the City had completed, the City is in need of good affordable housing, not only for a mobile workforce but also for those that are looking to live in the City of Chetek and work in the surrounding area.

How is this accomplished?

After my walk of the proposed site back in February, I had a plan prepared based on some of the data in the housing report and utilizing my past development experience and developed a plan for the 39-acre Knapp Street site.

In this development, we plan on making sure that there is a proper transition from the existing neighborhood to the new development.

We do that by making available a rental property that can accommodate 20 rental units averaging 950-1000 sf each. There is a mix of 2- and 3-bedroom units with detached garages with parking for each unit and they could have an occupancy of 40-60+ residents, occupying about 3.5+ acres of the development site.

We also know that the City would like to have a new water tower built somewhere on this site and final location will need to be discussed in more detail.

So, with the transition from the older neighborhoods to the 'apartments', the transition for the balance of the development is in single family housing. While our preliminary plan shows 40 single family lots, we believe in the end that number will be between 32-36 lots available for the growth of the City after final reviews and discussion to allow for proper storm water design and easements in the development. Please see Tab 3 for topo and preliminary site plan.

3. Development Team

Mike Miller will be 100% responsible for the development and construction of this project along with a site consultant to aide in the grading of the site and utility extension. We desire to manage all the infrastructure design and construction of the entire site.

My experience is as detailed on my resume, but also fits into the local Chetek narrative, where we are developing the old City shop site with 8 twinhomes, adding to the City tax base valuation of about \$1,240,000 when completed this fall.

Additionally, I am in my 4th year of developing 50 wooded acres, called Canar Pines that will have 22 new homes with a valuation to the Town of Trempealeau of \$7,700,000 to \$8,000,000 and will be complete with the construction of the last three homes in the spring of 2021.

Also, we have a construction office in the City and own a lake property in the Town of Chetek and are in the City and area almost on a weekly basis.

4. Proposed Development

Following are several attachments: preliminary site plan, preliminary apartment floorplan and elevations (for unit layout only), and several home plans, one is for the twinhomes concept we are developing over on Ridgeway Avenue, as well as several homes that would be a good fit for the City and allow many 'first time' homebuyers to enter the housing market as well as opportunities for families to move up into a larger home.

We would estimate that the apartment project would cost and estimated \$1,500,000 - \$1,700,000, calculated at a construction cost of \$75,000 to \$85,000 a unit.

The single-family housing would be estimated to be between \$7,520,000 and \$8,460,000, with the previous mentioned 32-36 homes with an average cost of \$235,000. We would expect these homes to be a minimum of 2 bedroom and most will have partial, if not full basements, 2 car garages, situated on lots that average over ½ acre. These are preliminary estimates based strictly on our assumptions.

See drawing for these housing units on Tab 4, Apartment plans, Twinhome plans, smaller 3-bedroom home and a bit larger 3 bedroom home, all suitable for this new development.

5. Timeline, Marketing and Long-Term Management

As far as scheduling, there is a lot of work that needs to take place in order to get this project moving forward. The apartments could, after discussion and final design, be started as soon as financing and approval by the City. Project could be built in 2 parts allowing the rental market to absorb the availability of units as they come available. Construction time would be 8-10 months from start to completion if done as a single project.

The single-family housing component is a bit more complex. It is not conceivable that the City can absorb 32-36 single family homes in a single year. We see this as a possible 5-6 year project, that would equate to about 6 new homes being constructed and sold on a yearly basis. Based on my current experience, keeping homes to a price point available to many in the Chetek area will aide the sale of the homes.

As far as management of the rental complex, we would either manage that ourselves, as we plan on retiring here in the next year or so, or we would hire a management company to manage or we would sell the complex to a property management group that would add it to their property portfolio.

6. Financials

We anticipate using private capital for the development and construction of this project. If the City is aware or desires to participate with any grants, state funding, etc, we would welcome that discussion.

We think this might be a bit premature as you can see from above many conversations need to take place in order to determine the financial needs of all parties involved.

7. Additional Information

Much of this has been discussed above, Ridgeway Avenue and Canar Pines development fit perfectly to this project in the scope and costing of what we have proposed.

Of course, the economic impact to the city goes from several thousand dollars on this site to a tax base of between \$9,020,000 to \$9,960,000. It is crucial that the City continue to work on the tax rate in the City. No one likes to pay more in taxes than they have too, and this completed development brings not only a tax base increase, but opportunities to showcase the City as a growing community with opportunities for businesses to relocate and work with a growing workforce.

As for references, I believe I have a good repour with the City of Chetek on our Ridgeway project and can provide the Town of Trempealeau chairmen contact if you would like to speak with them as well as any of my trade references.

We thank the City for the opportunity to submit this proposal for the development of 1301 Knapp Street and look forward to our time to discuss and present our plan in more detail next week.

Sincerely,



Mike Miller, President

Whitehorse Construction

Salmon Investments, LLC

MICHAEL J. MILLER

W2955 County Road Z • Eau Claire, WI 54701 • Home: 715-836-7890 • Cell: 715-579-6443 • Whitehorsecm@gmail.com

Construction Professional

Construction professional with over \$880,000,000 of industrial sand plant, residential, senior living, office, hotel, assisted living, warehouse, land development, educational, retail, municipal, industrial, civic and many other types of specialty construction projects.

Successful career history of working as a general contractor, owner, developer and subcontractor in hard bid, negotiated and design/build scenarios in an open shop and union work environment. Additional experience in tenant finish, building renovations, ground up construction, masonry and concrete construction, pre-engineered and conventional steel, fabric and wood framed buildings.

Extremely effective project completion percentage with over 99% of all projects completed on schedule and budget while maintaining the highest quality control and operations standards.

Strong leadership skills with the ability to develop and motivate effective construction teams while developing employee trust, loyalty and teamwork.

Professionally skilled in areas of:

**Construction Management • Design/Build • Construction Operations
Project Management • Estimating • Project Supervision • Project Budgeting
Pre-Construction • Project Scheduling • Quality Control
Team Leadership • Vendor/Material Management • MSHA/OSHA Safety Training &
Compliance**

EMPLOYMENT HISTORY

Whitehorse Construction Management, LLC, Eau Claire, Wisconsin **2009-Present**
Construction Management and Investment Company

Construction Manager/ Investor

- While leading the construction team at Source Energy Services for the last four years, I designed, developed and constructed the first and largest of its kind, 57,600 sf flat storage transload facility in Wembley, Alberta. This facility dominates the bulk of the industrial sand sales in the Western Canadian Sand Basin (WCSB). The facility operates with a storage capacity of over 45,000 US tons and has a truck loadout capacity of over 400 TPH. Facility has a rail loop with unit train capability and is able to unload a unit train in 12 hours or less at 1,000 TPH. Facility also has the record of the largest single scale live weighing systems for trucks at 120' long.
- Designed, developed and constructed the largest industrial sand flat storage facility in North America that has a capacity of 40,000 US ton and a rail loadout facility capable of loading railcars at 1,000 TPH.
- For Wisconsin sand projects, started and completed a 150TPH dryplant in record time. Project was started in August and the plant drier was started on November 15, with full sand production by mid-December.
- Considered one of the most experienced industrial sand construction professionals in the Western Wisconsin area based on construction complexity, performance, productivity, safety, volume and type/size of projects.
- Formed a limited partnership with Industrial Accessories Company (IAC) and Material Handling Company (MHC) to serve clients in Western Wisconsin and other industrial sand mines and facilities in the United States and Canada.

Source Energy Services LP

2012-2016

Industrial Sand Mine, Wet Plant, Dry Plant, Transload, Rail Operations

Vice President of Construction

- Responsible for all company construction projects in our North American service area of the United States and Western Canada
- Construction of a 150TPH Dry Plant addition, Weyerhaeuser, Wisconsin, October 2014
- Construction/design of the largest sand flat storage facility in Wembley, Alberta, Western Canada, 40,000 T
- Constructing/design the base 150TPH Dry Plant and the "first of it's kind", flat storage sand loadout facility, 42,000T and a 1,00TPH Rail loadout facility in Weyerhaeuser, Wisconsin,
- Managed/designed the construction of a 500TPH Wet Plant in Cameron, Wisconsin
- Managed the Rail receiving terminal in Wembley, Alberta. Project includes all site development work that includes a rail receiving loop, with double loop capacity, sand receiving facilities for sand loadout to transloading trucks
- Developed conception of a new receiving terminal in south Texas. Project will include civil, rail receiving and transloading facilities. Building and conveyors complete.
- Manage and oversee several construction group employees in the United States and Canada. They are primarily responsible for the construction, maintaining of the company's transloading facilities
- Participating member in management discussions with business development, finance, operations and senior management for the success and growth of the company

Whitehorse Construction Management, LLC, Eau Claire, Wisconsin

2009-Present

Construction Management and Transportation Services Company

Construction Manager

- Operate a construction management and transportation company on a daily basis utilizing all of my professional construction, operations and business skills
- Considered one of the most experienced construction professionals in the Eau Claire/Chippewa Valley area based on construction complexity, performance, productivity, safety, volume and type/size of projects
- Completed projects from site selection, design, estimating, billings, construction through project closeout and warranty period
- Negotiated, constructed several construction projects in the Eau Claire area while continuing to expand the client base and experience with new and past client relationships
- Expanded the business enterprise by executing a transportation agreement with a major building materials supplier for the delivery of their building materials to their distribution centers and stores throughout the Midwest
- Obtained Federal DOT permits, licenses, Drug and Alcohol Testing Program and random drug pool for employees, Wisconsin New Entrant participant, Fuel Tax and all other permits required for operating a legal transportation business in the United States
- Attended truck driver training program at the local Chippewa Valley Technical College to obtain a Class A Commercial Drivers License with endorsements
- MSHA Part 46.8 Training by CRS/Compliance Regulatory Service

Goldridge Group/Goldridge Construction, Eau Claire, Wisconsin
Development/Construction/Property Management Company

2007-2009

Vice President of Construction

- Overall construction operations management and responsibility of a \$40,000,000 medium sized construction management/development company with 24 employees across the Midwest on a daily basis including field superintendents, construction administration, project managers, senior project managers, design and estimating staff
- Bottom line profit/loss/annual budget responsibility for construction group
- Performed project budgeting, design, estimating, scheduling, project management, overall construction process including project closeout and warranty period
- Responsible for writing/developing company construction operations, policies and procedures and implementing companywide for all construction personnel, included new client master agreement, subcontracts, change orders, pay application, RFI's, RFP's, etc.
- Delegated responsibilities for manpower, equipment, office staff, design services and estimating for the company
- Developed and implemented a complete Division 1-16 computer estimating program for construction management company
- Updated and enacted a new OSHA compliant zero tolerance safety program and guidelines for all company projects and subcontractors
- Initiated and utilized Microsoft Project scheduling software for project schedules
- Participated in sales presentations and tradeshow for business development and company growth

Brickl Bros., Inc., Design/Builders, West Salem, Wisconsin
Design/Build Self-Performing Contractor

2002-2007

Construction Operations Manager

- Responsible for the complete operation of a \$25,000,000 design/build construction group, up to 100 men on a daily basis, including project superintendents, draftsmen, purchasing, concrete crews, building crews, yard personnel, human resources, construction administration and the shop mechanic
- Reorganized the construction operations group and implemented new owner contracts, subcontracts, insurance requirements, change orders, job scheduling, purchase orders and cost code system to allow the company to operate more efficiently and effectively
- Managed between 200-300 construction projects on a yearly basis
- Organized, performed and scheduled employee training, safety field training; OSHA 10 hour class, scaffolding, forklift certification and other training as required
- Authored, implemented and managed a new zero tolerance safety program in accordance with OSHA guidelines and procedures
- Safety modifier was over 1.30 based on a construction accident before my employment and after writing the new safety program, the safety modification was back to 1.0 in three years
- Wrote a Microsoft Excel program to schedule manpower, equipment and materials on a daily basis with an eight-month outlook to maintain crew efficiencies and project profitability. Previously, the schedule was done manually, sometimes several times a day
- Managed all personnel issues; hiring, terminations, discipline of all company personnel in the construction group
- Employee turnover was almost 100% on a yearly basis and by implementing new employee guidelines with a new employee evaluation process of 60-120-180 day reviews, we were able to reduce turnover to half of the previous rate and increase not only the quality of our workforce but our construction quality as well
- Participating member of the Associated Builders and Contractors Association Wisconsin

OM Construction, Inc., Green Bay, Wisconsin
Self-Performing General Contractor

1996-2002

Operations Manager/Project Manager

- Establishing and implemented all operational policies and procedures for a \$18,000,000 hard bid construction company
- Delegated responsibilities for daily manpower, equipment, office staff and estimating for the company
- Brought computer awareness and development experience to company allowing for future growth of 200%, from \$6 million to up to \$18 million
- Developed computer estimating program for concrete, carpentry, masonry and general construction that eventually developed into a complete construction estimating program that could be used on any of their projects, all sixteen divisions
- Project management of projects on a day-to-day basis, from personnel to materials, contracts, purchase orders, scheduling, and change orders, etc.
- Company Safety Director, developed safety program and guidelines thereby maintaining a highly respected and one of the lowest safety modifiers in the State of Wisconsin for general contractors at .68
- Managed up to 60 carpenters and 40 masons on a daily basis on up to 5 projects at a time
- Member of the Wisconsin Associated General Contractors Association (AGC)
- Served on the AGC Collective Bargaining Committee for labor contracts

Lauth Property Group, (Formally Eaton & Lauth) Indianapolis, Indiana
Development/Construction/Property Management Company

1994-1996

Conceptual Estimator/Design/Build Project Manager

- Responsible for all design build projects for a \$30,000,000 development/construction company from conceptual estimates, architectural design, owner/subcontractor buyouts, job schedules, to hand-off to the assigned project manager
- Managed for all exterior building construction for the company from pre-construction to project completion and closeout
- Developed complete Division 16 conceptual estimating program that was used in development pro-formas, pre-construction discussion with owners through project signing. Project estimates were done for ice rinks, pre-engineered buildings, conventional steel buildings, high bay warehouses, site infrastructures, office buildings and site developments
- Estimated about \$68 million of projects a year with over an 80%+ hit ratio
- Member of the Indiana Association of Builders and Contractors

EDUCATION

Purdue University, West Lafayette, Indiana
B.S. in Building Construction and Contracting
(Construction/Civil Engineering)

Chippewa Valley Technical College
Truck Driver Training Program
Graduate with Honors
Class A CDL License with inactive DOT Authority, #1970361

Other:
MSHA/OSHA Certified, CPR/First Aid Trained, Forklift Certified Trainer
Former member of both the AGC and ABC Construction Associations in Wisconsin

MICHAEL J. MILLER

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COMPLETED PROJECT LIST

	<u>Bldg Size</u>	<u>Contract \$</u>
Industrial Sand Processing:		
Source Energy Services 150TPH Plant addition, Weyerhaeuser, WI	19,600 sf	\$24,000,000
Source Energy Services 150TPH Dry Plant, Flat Storage Loadout, Rail Loadout Facility, Weyerhaeuser, WI		
Source Energy Services Flat Storage Receiving Terminal, Wembley, Alberta	57,600 sf	\$17,000,000
Canadian Sand Receiving Terminal, South Texas	30,000 sf	\$6,000,000
Canadian Sand 500TPH Wet Plant, Cameron, WI	19,800 sf	\$17,000,000
Competition Sands, Marshfield, WI		\$1,000,000
Hi-Crush Sands, Wyeville, WI		\$2,500,000
Wynn Bay Sands, Whitehall, WI		\$2,250,000
Industrial:		
MacIntosh Unit 3 Fossil Fuel Power Plant		
Lock "C" and Dam, Tennessee Tombigbee Waterway		
Oilwell Supply Building	40,000 sf	\$3,000,000
WSCO-TV Tower Foundations		\$100,000
Green Bay Water Treatment Renovation		\$700,000
Wisconsin River and Power Shop Addition		\$200,000
MULTISTACK Manufacturing Facility	55,000 sf	\$2,200,000
Office/Residential:		
Montfort Place Office Building	90,000 sf	\$7,000,000
Montfort Place Underground Garage	110,000 sf	
AIA Office Building with Garage	214,000 sf	\$6,000,000
Landmark Place Eight Story Office Bldg w/Garage	318,996 sf	
General Finish out of Office Buildings		\$2,000,000
Northside Baptist Gymnasium and Rec. Center	15,000 sf	\$1,500,000
Tri-County Mental Health Center	42,500 sf	\$2,300,000
Shelter Insurance Indiana Headquarters	10,500 sf	\$1,300,000
USA Group Corporate Headquarters	250,000 sf	\$13,000,000
Good Humor-Breyers World Headquarters Addition	17,245 sf	\$700,000
Coulee Creek Office Building	11,240 sf	\$1,700,000
Black River Dental	3,800 sf	\$500,000
Alliance Bank Remodel	3,660 sf	\$142,000
Guelzow law Office Renovation	7,500 sf	\$65,000
Waterford Metropolitan Condominiums	36,400 sf	\$2,912,000

Hotel:

Holiday Inn, Plano, Texas		\$3,500,000
Holiday Inn Airport Exterior Renovation, Green Bay		\$1,330,000
Microtel Hotel, 59 Rooms		\$1,800,000
Holiday Inn Express, 79 Rooms, Mountain Iron, MN		\$7,800,000

Warehouse:

Dallas Cold Storage Warehouse	145,387 sf	\$5,000,000
Highway Film Service	10,000 sf	\$800,000
Ball Corporation Dock Expansion		\$400,000
Addison Wesley Warehouse Super flat Floor	137,000 sf	\$3,200,000
Economy Kitchen & Bath	10,000 sf	\$700,000
Curative Rehabilitation Center	50,000 sf	\$1,600,000
Eau-Claire Co-op Dry Fertilizer Building	30,000 sf	\$500,000
River Valley Cold Storage	10,880 sf	\$1,100,000
Urban Cranberry Processing	15,000 sf	\$1,500,000

Land Development:

Raw Land Infrastructures	143 acres	\$3,000,000
Preliminary Design of Golf Course Dev Omaha, NE		\$4,500,000

Educational:

Wabeno High School Addition	50,000 sf	\$2,600,000
Sevastopol School Addition	7,880 sf	\$400,000
University of Wisconsin – Marinette Campus	32,500 sf	\$4,100,000
Green Bay East High School	200,000 sf	\$9,800,000

Retail:

Pier 1 Import Stores, 30 Across United States		\$21,000,000
L.S. Ayres Department Stores	2,200,000 sf	\$4,000,000
Marsh Supermarket and "B" Shops in Fishers	100,000 sf	\$3,000,000
Marsh Supermarket Remodel Bloomington	55,000 sf	\$900,000
Village Pantry Remodel		\$200,000
Nora Plaza, Total Site and Exterior Remodel	165,000 sf	\$1,500,000
Bargains Unlimited	2,100 sf	\$200,000
Circuit City Store Masonry	48,000 sf	\$500,000
Parts America Store	8,000 sf	\$100,000
Festival Foods Masonry	45,000 sf	\$200,000
Festival Foods Masonry – De Pere	67,000 sf	\$300,000
Bad River Nation - Concrete	16,000 sf	\$100,000
Festival 'B' Shops	20,000 sf	\$100,000
Festival Foods Oshkosh	72,000 sf	\$500,000
Denis Strip Mall	26,000 sf	\$800,000

Pro Builders Mall/Lowtis Woodworks	23,250 sf	\$2,200,000
Long John Silver's/A&W Restaurant	3,000 sf	\$500,000
Carpet City Holmen	9,000 sf	\$300,000
Decker Floor to Ceiling	15,000 sf	\$1,800,000
Waterford White Box Buildouts	3,2000 sf	\$146,000

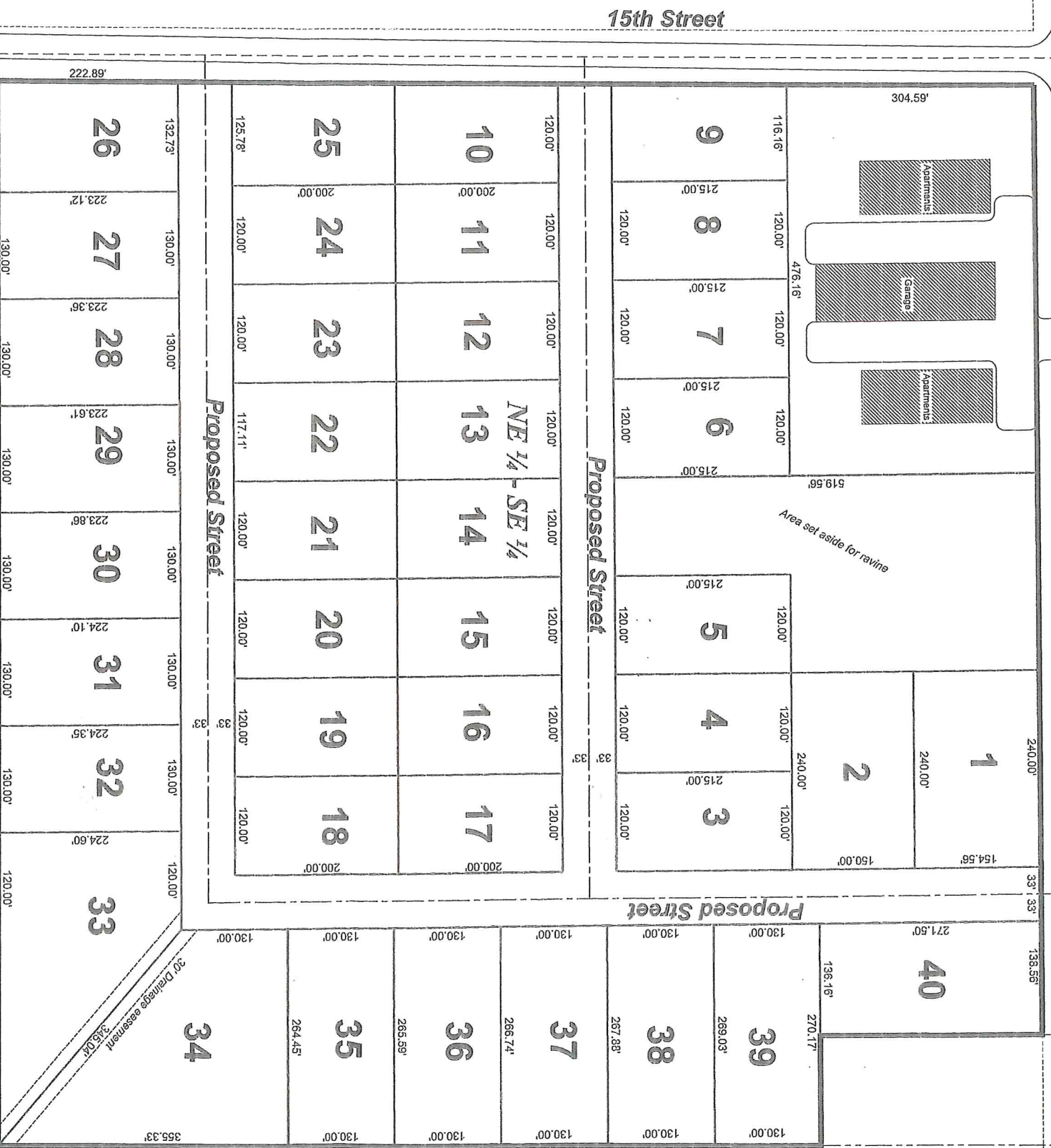
Municipal/Civic/Miscellaneous:

Nekoosa Public Library	10,000 sf	\$600,000
Potowatomi Indian Youth Center	12,000 sf	\$600,000
Fairfield Public Art Gallery	21,000 sf	\$1,600,000
Oconto County Community Bank	2,100 sf	\$300,000
Oddfellows Rebekah Home Scullery		\$100,000
Four Seasons Park Shelter	1,965 sf	\$200,000
Curative Rehabilitation Therapy Pool	1,500 sf	\$200,000
Marinette Police Station		\$100,000
Marinette County Highway Department	1,976 sf	\$300,000
Scandia Village Good Samaritans	9,500 sf	\$1,000,000
Town of Suamico New Town Hall	7,000 sf	\$700,000
Baileys Harbor Marina Building	1,540 sf	\$500,000
City of Green Bay Fire Station #4	7,640 sf	\$1,800,000
Northern Door Library	7,500 sf	\$800,000
Oconto County Garage	21,250 sf	\$800,000
Marinette County Highway Garage	26,000 sf	\$1,700,000
Town of Suring Fire Station	8,000 sf	\$800,000
Hollywood Cinema	10,000 sf	\$400,000
St Francis Catholic Church and Rectory	30,000 sf	\$2,200,000
Baeder Residence Garage Addition	2,400 sf	\$200,000
Misc Bldg Projects (Pole Bldg, Ladder Frame)		\$1,000,000

The projects that are listed above are projects that I personally started and finished if a dollar amount is listed beside the project size and is based on the actual contract amount at the time of construction. If no dollar amount is listed, it is a project that I worked on, but I either did not work on the project from start to finish or it is a project that I worked on, but in a capacity that I could not take any project credit for its success. While acting in an operations position over the last 15 years, I managed a construction volume of over \$275million of construction work while managing many of my own projects.

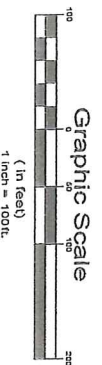
SE 1/4 - NE 1/4

Knapp Street



SE 1/4 - SE 1/4

Section 25, T33N-R11W
City of Chetek, Barron County, WI



Proposed Layout - Option 1

City of Chetek

NE 1/4 - SE 1/4, Section 25, T33N-R11W
City of Chetek, Barron County, WI
1301 Knapp Street, Chetek, WI



HIGH CLIFF CONSULTING LLC

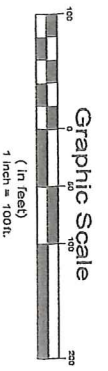
P.O. Box 176, Galesville, WI 54630
608-582-2205 survey@highcliffconsulting.com
www.highcliffconsulting.com

Drawn by:
SJS

Date:
3-1-2020

Job No:
CHETEK

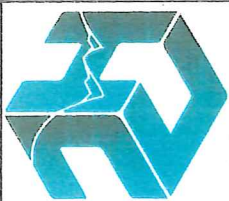
Sheet:
1 of 1



Proposed Layout



City of Chetek
 NE 1/4 - SE 1/4, Section 25, T33N-R11W
 City of Chetek, Barron County, WI
 1301 Knapp Street, Chetek, WI



HIGH CLIFF CONSULTING LLC
 P.O. Box 176, Galesville, WI 54630
 608-582-2205 survey@highcliffconsulting.com
 www.highcliffconsulting.com

Drawn by:	Date:	Job No:	Sheet:
SJS	2-25-2020	XXX	1 of 1

New 10-Unit Apartment Building for Feyen Apartments



Trempealeau, Wisconsin

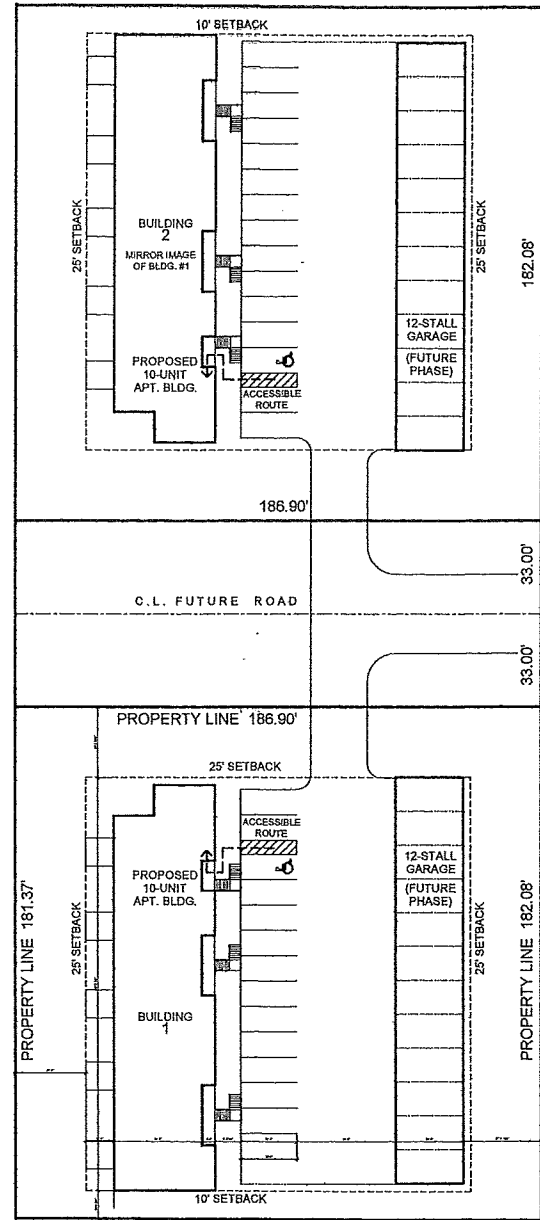
Conditionally
APPROVED
DEPT. OF SAFETY AND PROFESSIONAL
SERVICES
DIVISION OF INDUSTRY SERVICES

J. Haktar

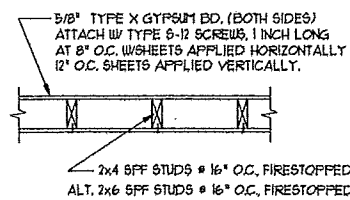
SEE CORRESPONDENCE

Trans 2567655
Building
8/18/2015

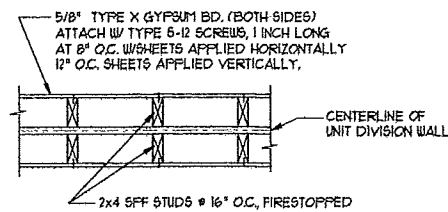
 TRUE NORTH
 **SITE DIAGRAM**
SCALE: 1" = 30'



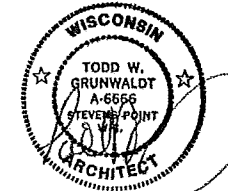
U.L. FIRE RATED ASSEMBLIES



2 U.L. DESIGN No. U305 - 1 HR. RATING
SCALE: NONE



3 ALT. U.L. No. 305 - 1 HR. RATING
SCALE: NONE
REF: GYPSUM ASSOCIATION DESIGN #1P 331P

OWNER INFORMATION		ARCHITECT / ENGINEER		DESIGN DATA	
OWNER:	COREY FEYEN FEYEN CONCRETE CONSTRUCTION P.O. BOX 264 TREMPEALEAU, WI 54661 PHONE: (608) 834-6519 FAX: -- EMAIL: cfeyen@fcsconstr.com	ARCHITECT:	TODD W. GRUNWALDT & HALVERSON, LLC 32608 CHURCH STREET STEVENS POINT, WISCONSIN 54481 PHONE: 715-344-9647 FAX: 715-344-9814 EMAIL: todd@grunwaldt-halverson.com	BUILDING CODE: 2009 IBC, 2009 IBC	
GENERAL CONTRACTOR:	COREY FEYEN FEYEN CONCRETE CONSTRUCTION P.O. BOX 264 TREMPEALEAU, WI 54661 PHONE: (608) 834-6519 FAX: -- EMAIL: cfeyen@fcsconstr.com	STRUCTURAL ENGINEER:	JAMES D. HALVERSON GRUNWALDT & HALVERSON, LLC 18711 RIVER ROAD BLACK RIVER FALLS, WISCONSIN 54603 PHONE: 608-488-7285 FAX: 608-488-7285 EMAIL: jdh@grunwaldt-halverson.com	COUNTY: TREMPLEALEAU MUNICIPALITY: VILLAGE OF TREMPLEALEAU	
PROJECT DATA		PROJECT LOCATION		EXPOSURE CATEGORY: C DESIGN WIND PRESSURES: 13.5 PSF	
CONSTRUCTION TYPE: VB - 1000 FRAME - UNPROTECTED		BUILDING ADDRESS: SCHUBERT ROAD TREMPEALEAU, WI 54661		FLOOR LOADING DATA	
USE AND CLASSIFICATION: R2 - MULTIFAMILY		MUNICIPALITY: VILLAGE OF TREMPLEALEAU		LIVE LOAD: 50 PSF	
ACCESSORY USE(S): --		COUNTY: TREMPLEALEAU		APPLIED DEAD LOAD: 15 PSF	
SEPARATED/NON-SEP. USE: 1 HR		PROPERTY ZONING: RESIDENTIAL		TOTAL LOAD: 70 PSF	
PROJECT AREA: 5,818 x 7 STORES = 10,036 SF		CONDITIONAL USE: --		SEISMIC DATA	
TOTAL BUILDING AREA: 10,036 SF		MUNICIPALITY CERTIFIED TO PERFORM INSPECTION: N/A		SEISMIC DESIGN CATEGORY: A	
TOTAL BUILDING VOLUME: OVER 50,000 CF				IMPORTANCE FACTOR: 1.0 SITE CLASS: D	
ALLOWABLE BLDG AREA: 15,000 SF				5.1' 0.75g 5.8' 0.4g	
MAXIMUM NO. FLOORS: 3				SOIL DATA	
FIRE SUPPRESSION: YES				CLASSIFICATION: SANDY GRAVEL	
SPRINKLER TYPE: NFPA-13R				SOIL REPORT / TESTING PERFORMED: NO CAPACITY: (ASSUMED) 2,000 PSF	
PLUMBING FIXTURES		AREA INCREASE CALCULATIONS		GENERAL NOTES	
FIXTURE TYPE	REQUIRED	PROVIDED		1. GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON JOB SITE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING PLANS AND EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.	
TOILET	10	10		2. PERMITS, ETC. TO BE THE RESPONSIBILITY OF THE CONTRACTOR.	
URNAL	N/A	-		3. ALL WORK TO BE DONE IN ACCORDANCE WITH STATE DEPT. OF COMMERCE AND LOCAL CODES INCLUDING THE VILLAGE OF TREMPLEALEAU FIRE DEPARTMENT.	
LAVATORY	10	10		4. ALL INTERIOR FINISHES PER IBC 2009.	
BATH TUB / SHOWER	10	10		5. STANDARD EXIT HARDWARE WILL BE PROVIDED AS REQUIRED BY IBC-2009.	
DRAINING FOUNTAIN	N/A	-		6. SMOKE DETECTORS WILL BE PROVIDED PER IBC-2009.	
SERVICE SINK	N/A	0		7. ALL STRUCTURAL MEMBERS TO BE PROVIDED WITH A POSITIVE CONNECTION TO RESIST A HORIZONTAL FORCE OF 5% OF DEAD + LIVE LOAD REACTIONS.	
CODE ANALYSIS			DRAWING INDEX		
FIRE PROTECTION:			PROJECT DATA		
SPRINKLERS: PER 903.3.2, NFPA-13R ALLOWED IN GROUP R OCCUPANCIES UP TO 4 STORIES.			T1 PROJECT DATA, SITE DIAGRAM, SHEET INDEX		
UNIT SEPARATIONS:			T2 ANSI, ADA STANDARDS		
HORIZONTAL ASSEMBLIES: PER 710, 1-HR. RATED FLOOR CEILING ASSEMBLY, COMPLYING WITH T1101.1.3) ITEM 710; BASE LAYER 1/2" TYPE-X GYP. BD. APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS 24" O.C. WITH 1/4" TYPE S OR W DRYWALL SCREWS 24" O.C. FACE LAYER 1/2" TYPE-X GYP. BD. APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS THROUGH BASE LAYER WITH 1/4" TYPE S OR W DRYWALL SCREWS 12" O.C. AT JOINTS AND INTERMEDIATE JOIST OR TRUSS. FACE LAYER TYPE G DRYWALL SCREWS PLACED 2" BACK ON EITHER SIDE OF FACE LAYER END JOINTS 12" O.C.			STRUCTURAL		
VERTICAL UNIT SEPARATIONS:			60 STRUCTURAL NOTES		
DRAFTSTOPPING: PER 709, 1-HR. RATED FIRE PARTITIONS, ILL. DESIGN N0305			610 FOUNDATION PLAN, DETAILS		
MEANS OF EGRESS:			620 SECOND FLOOR FRAMING PLAN		
STAIRS: PER 713.1, DRAFTSTOP SHALL BE MIN. 1/2" GYP. BD. OR 3/8" OSB.			62.1 ROOF FRAMING PLAN		
ACCESSIBILITY:			ARCHITECTURAL		
PER 1016.2.1.1 IN GROUP R-2 OCCUPANCIES WITH MORE THAN 20 DWELLING UNITS, AT LEAST 2%, BUT NOT LESS THAN ONE DWELLING UNIT SHALL BE A TYPE-A UNIT.			A10 FLOOR PLANS		
PER 1016.2.1.2 IN R-2 BUILDINGS WITH 4 OR MORE DWELLING UNITS, ALL ARE REQUIRED TO BE B-TYPE UNITS.			A20 BUILDING SECTIONS		
EXCEPTION: PER 1017.1 IN R-2 BUILDINGS WITHOUT ELEVATOR SERVICE, ONLY THE DWELLING UNITS ON FLOORS PROVIDED WITH ACCESSIBLE ENTRANCES FROM THE EXTERIOR SHALL BE REQUIRED TO BE B-TYPE UNITS.			A30 EXTERIOR ELEVATIONS		
ORIGINAL PLANS PREPARED BY GRUNWALDT & HALVERSON, LLC					
					
TODD W. GRUNWALDT, AIA DATE: 8/14/2015					

REVISIONS BY

△ -- PJD

**SITE DIAGRAM
PROJECT DATA
DRAWING INDEX**

NEW 10-UNIT APARTMENT BUILDING FOR
FEYEN-APARTMENTS
TREMPEALEAU, WISCONSIN

FEYEN CONCRETE CONSTRUCTION
P.O. BOX 264
TREMPEALEAU, WISCONSIN 54661

GRUNWALDT & HALVERSON
Architects and Engineers
32608 Church Street, Stevens Point, WI 54481
715/344-9647 (Phone) 715/344-9814 (Fax)

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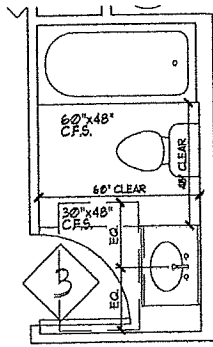
DRAWN: PJD
CHECKED: TUG
DATE: 8-14-2015
SCALE: AS NOTED
JOB NO.: E011
SHEET
T1
OF 2 SHEETS

TYPE-B ACCESSIBILITY NOTES:

PER ANSI 117.1, 104.11.3:
EITHER ALL TOILET AND BATHING ROOMS PROVIDED SHALL COMPLY WITH SECTION 104.11.3.1 (OPTION A), OR ONE TOILET AND BATHING ROOM SHALL COMPLY WITH SECTION 104.11.3.2 (OPTION B).
NOTE: ALL TOILET AND BATHING ROOMS PROVIDED COMPLY WITH SECTION 104.11.3.1 (OPTION A).

PER 104.11.3, A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305.3 POSITIONED FOR A PARALLEL APPROACH SHALL BE PROVIDED. THE CLEAR FLOOR SPACE SHALL BE CENTERED ON THE LAVATORY.

THIS DETAIL IS TYPICAL OF ALL BATHROOMS IN UNITS ON THE FIRST FLOOR ONLY. (UNITS #1 - #5.)



3 ANSI TYPE B ACCESSIBLE BATH (TYP.)
SCALE: 3/8" = 1'-0"

WALL TYPES

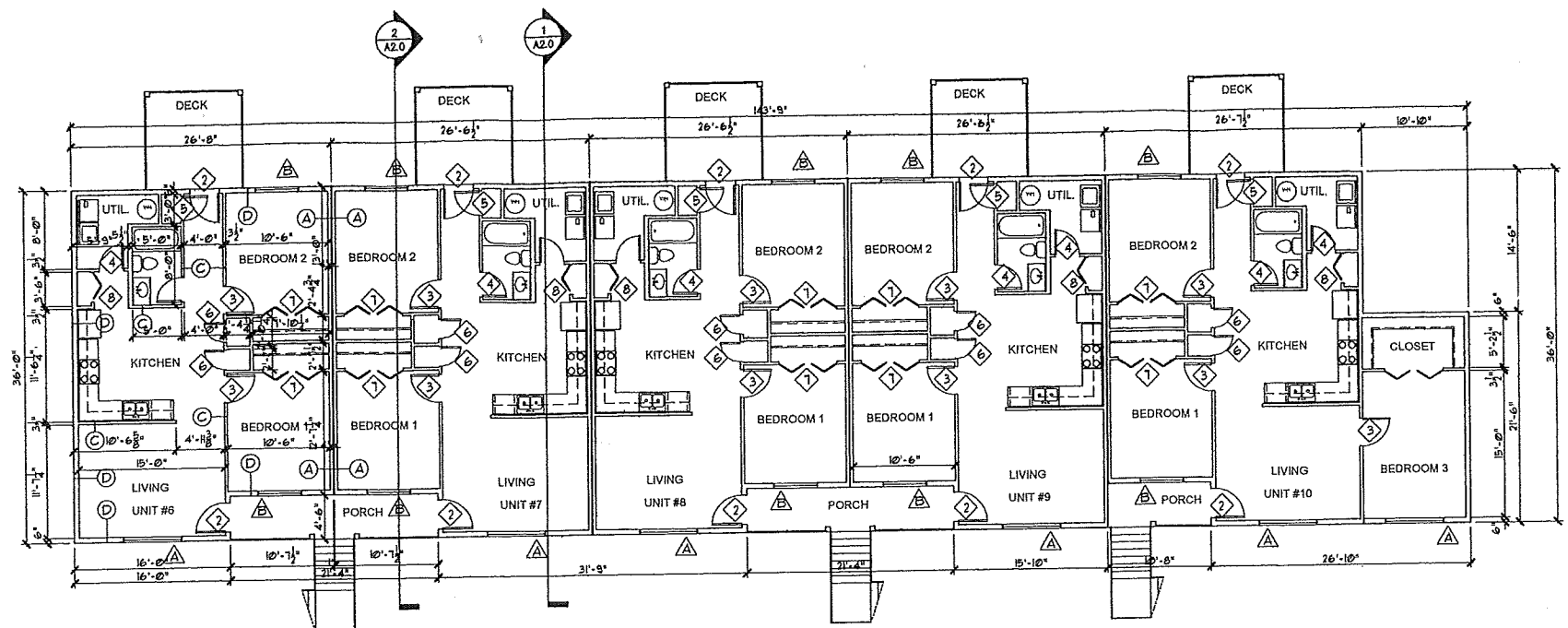
- (A) 1-HR RATED FIRE PARTITION - 1 LAYER 5/8" TYPE-X GYP. BD. EACH SIDE OF 2x6'S (OR 2x4'S) @ 16" O.C. CONTIN. FROM FLOOR TO UNDERSIDE OF ROOF DECK
- (B) 1-HR RATED FIRE PARTITION - 1 LAYER 5/8" TYPE-X GYP. BD. EACH SIDE OF 2x6'S (OR 2x4'S) @ 16" O.C. CONTIN. FROM FLOOR TO UNDERSIDE OF FLOOR JOISTS
- (C) NON-RATED INTERIOR PARTITION - 1 LAYER 1/2" REG. GYP. BD. EACH SIDE OF 2x4'S @ 16" O.C. CONTIN. FROM FLOOR TO UNDERSIDE OF RATED CEILING
- (D) NON-RATED EXTERIOR WALL - 1 LAYER 5/8" REG. GYP. BD. OVER 4-MIL POLY V.B. AT INSIDE OF 2x6'S @ 16" O.C. CONTIN. FROM FLOOR TO UNDERSIDE OF FLOOR JOISTS OR UNDERSIDE OF ROOF TRUSSES

WINDOW TYPES

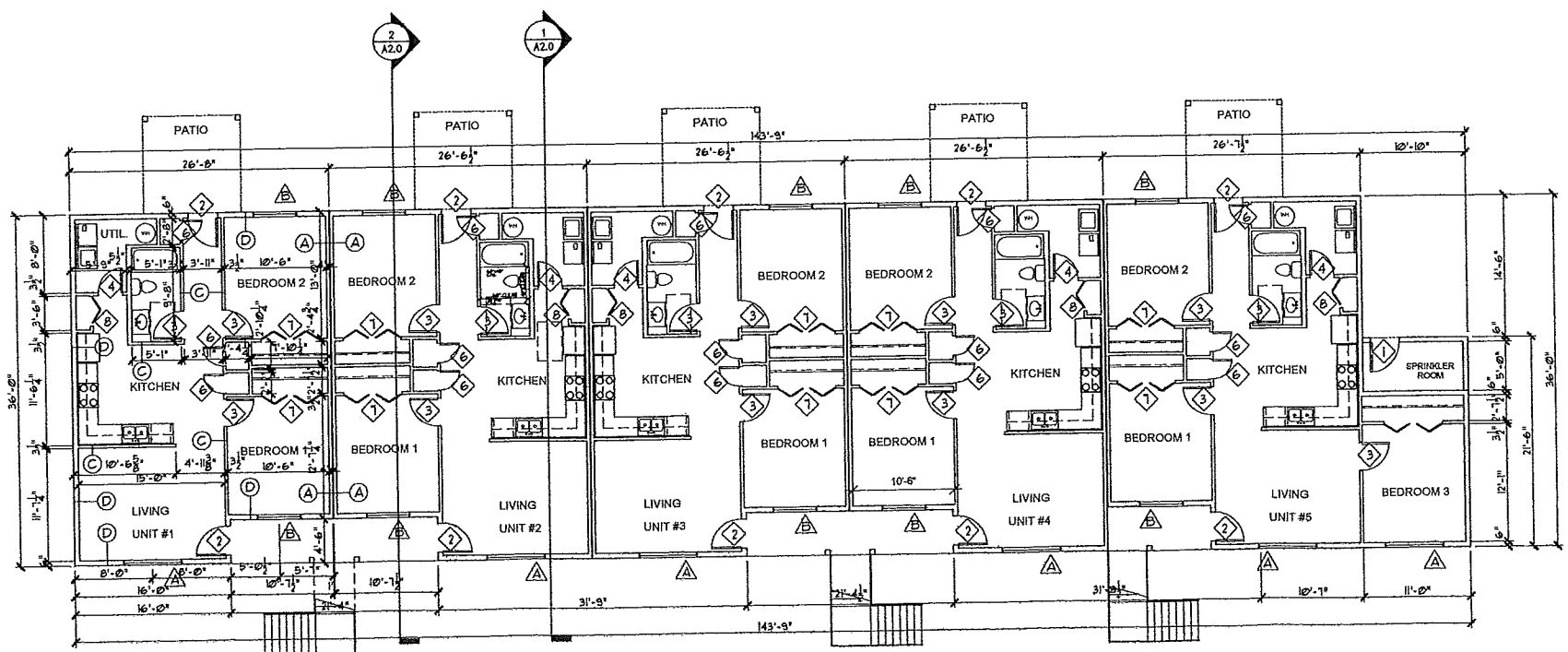
- (A) 5'-6" x 5'-0" VINYL SLIDING WINDOW WITH SCREEN AND INSULATED LOW-E GLASS
- (B) 4'-6" x 5'-0" VINYL SLIDING WINDOW WITH SCREEN AND INSULATED LOW-E GLASS

DOOR TYPES

- (1) 3'-0" x 6'-8" EXTERIOR INSULATED STEEL PANEL (NON-RATED)
- (2) 3'-0" x 6'-8" EXTERIOR INSULATED STEEL PANEL WITH HALF-LITE GLAZING INSERT
- (3) 2'-10" x 6'-8" INTERIOR HOLLOW-CORE WOOD PREFINISHED - COLOR AS SELECTED BY OWNER
- (4) 2'-8" x 6'-8" INTERIOR HOLLOW-CORE WOOD PREFINISHED - COLOR AS SELECTED BY OWNER
- (5) 2'-6" x 6'-8" INTERIOR HOLLOW-CORE WOOD PREFINISHED - COLOR AS SELECTED BY OWNER
- (6) 2'-0" x 6'-8" INTERIOR HOLLOW-CORE WOOD PREFINISHED - COLOR AS SELECTED BY OWNER
- (7) 6'-0" x 6'-8" INTERIOR WOOD BI-FOLD CLOSET DOORS PREFINISHED - COLOR AS SELECTED BY OWNER
- (8) 3'-0" x 6'-8" INTERIOR WOOD BI-FOLD CLOSET DOORS PREFINISHED - COLOR AS SELECTED BY OWNER



2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
TRUE NORTH



UNIT NOTES:
1. ALL UNITS ON THE FIRST FLOOR SHALL BE DESIGNATED AS "TYPE-B" UNITS FOR ACCESSIBILITY PER ANSI A117.1.
2. ALL FIRST FLOOR UNIT BATHROOMS SHALL CONFORM TO ANSI TYPE-B ACCESSIBILITY.
3. UNITS 1-4 AND 6-5 ARE THE SAME IN LAYOUT AND DIMENSIONS. UNIT AREA=905 SF.
4. UNITS 5 AND 10 ARE 2-BEDROOM UNITS AND DIFFER IN LAYOUT AND AREA. UNIT 5=1083 SF. UNIT 10=1142 SF.
5. THE SPRINKLER ROOM IS NOT INCLUDED IN THE AREA OF UNIT 5.
6. WALL TYPES SHOWN AT UNITS ABOVE ARE TYPICAL FOR ALL SIMILAR UNITS.

1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
TRUE NORTH

REVISIONS	BY

FLOOR PLANS

NEW 10-UNIT APARTMENT BUILDING FOR
FETEN APARTMENTS
TREMPEALEAU, WISCONSIN
FETEN CONCRETE CONSTRUCTION
P.O. BOX 264
TREMPEALEAU, WI 54661

GRUNWALDT & HALVERSON
Architects and Engineers
32608 Church Street Stevens Point WI 54481
715/344-8647 (Phone) 715/344-9814 (Fax)

DRAWN: FJD
CHECKED: TUG
DATE: 8-14-2005
SCALE: AS NOTED
JOB NO.: 15011
SHEET A1.0
OF 3 SHEETS

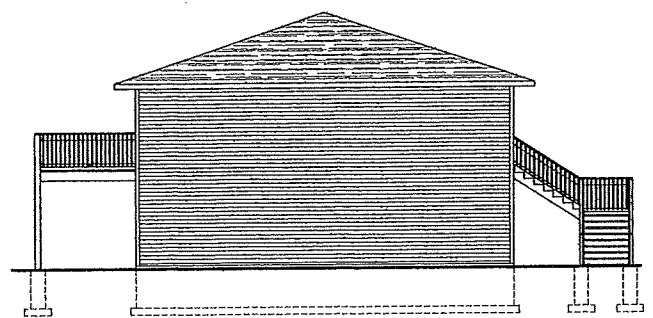
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△ --	FJD

EXTERIOR ELEVATIONS

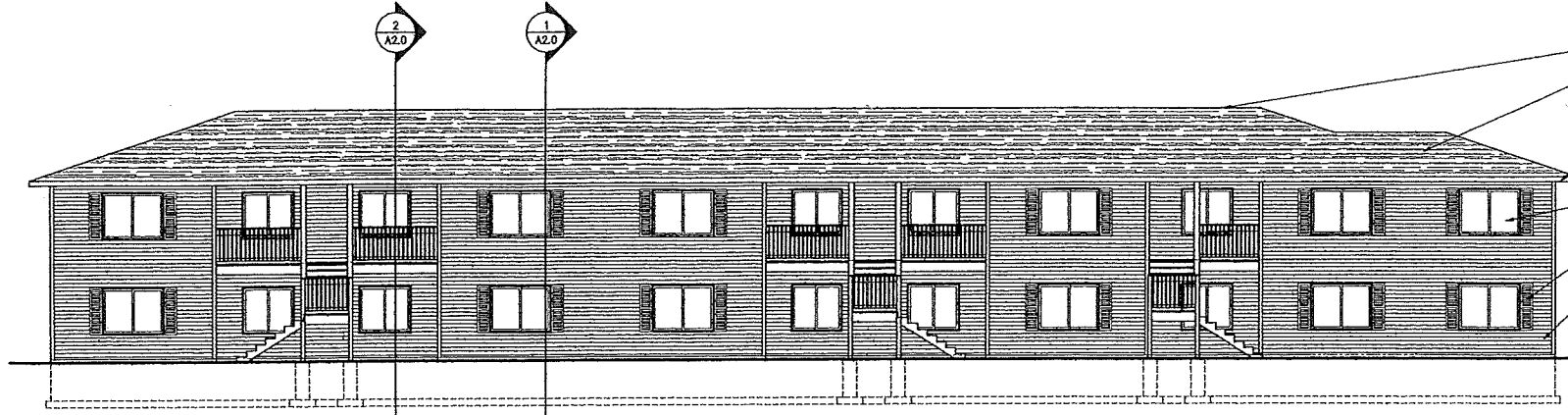
NEW 10-UNIT APARTMENT BUILDING FOR
 FEYEN APARTMENTS
 TREMPLEALEA, WISCONSIN
 FEYEN CONCRETE CONSTRUCTION
 P.O. BOX 264
 TREMPLEALEA, WI 54661

GRUNWALDT & HALVERSON
 Architects and Engineers
 32608 Church Street Stevens Point WI 54481
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 CHECKED: TWG
 DATE: 8-14-2015
 SCALE: AS NOTED
 JOB NO.: 15011
 SHEET
A3.0
 OF 3 SHEETS

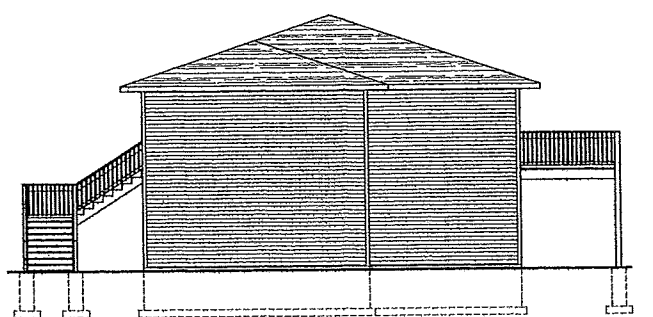


3 SOUTH ELEVATION
 A3.0 SCALE: 1/8" = 1'-0"

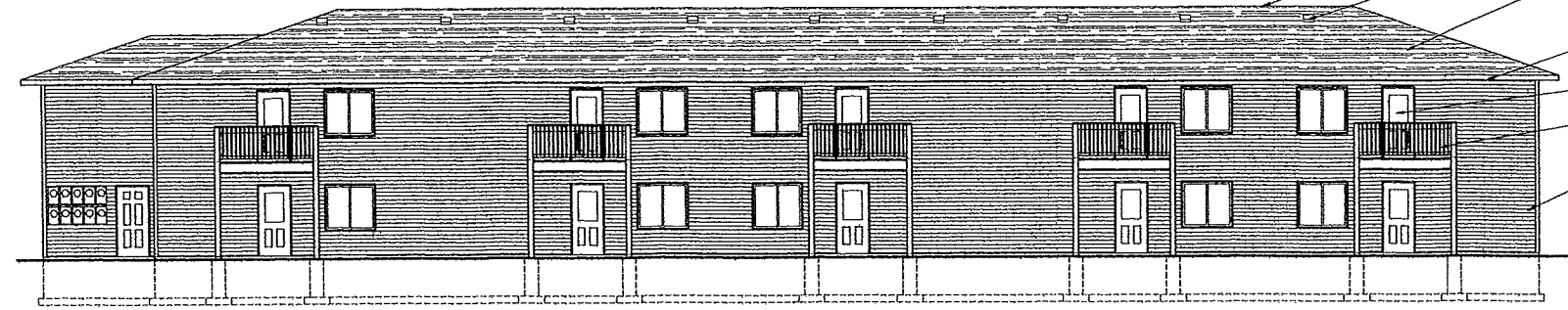


4 WEST ELEVATION
 A3.0 SCALE: 1/8" = 1'-0"

- CONTINUOUS RIDGE ATTIC VENT
- ASPHALT SHINGLE ROOF
- ALUMINUM FASCIA WITH FULLY VENTED SOFFIT
- VINYL WINDOWS WITH INSULATED LOW-E GLAZING
- DECORATIVE VINYL SHUTTERS - ONLY WHERE SHOWN
- VINYL HORIZONTAL SIDING - OR AS SELECTED BY OWNER

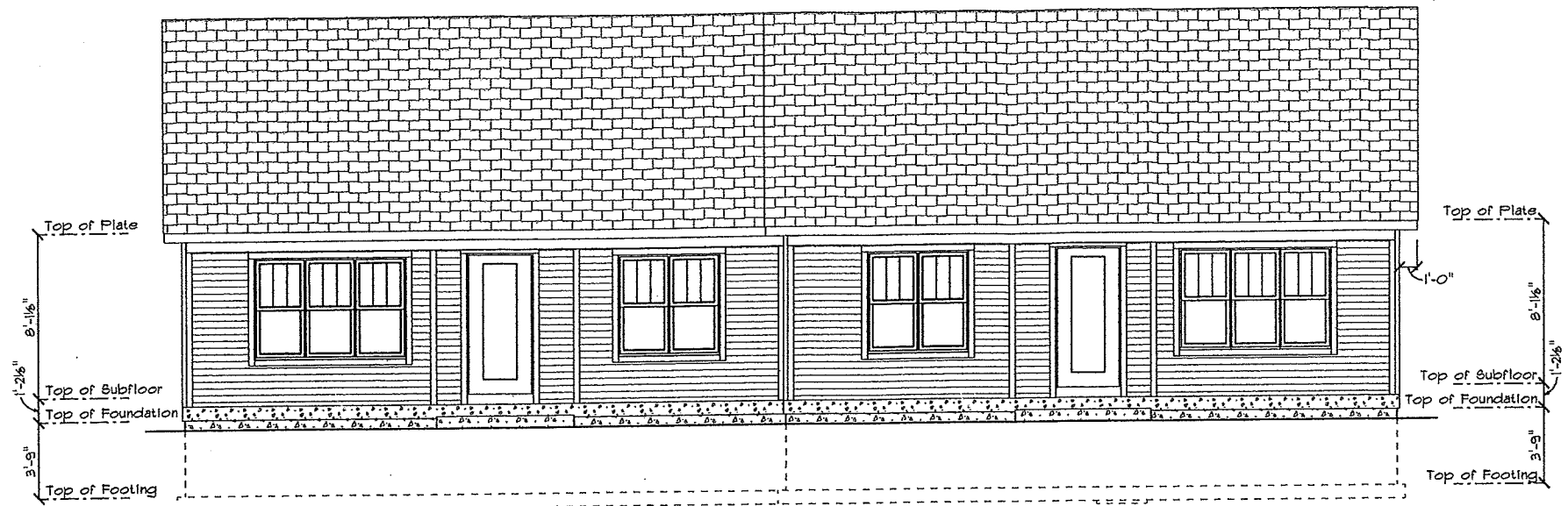


2 NORTH ELEVATION
 A3.0 SCALE: 1/8" = 1'-0"

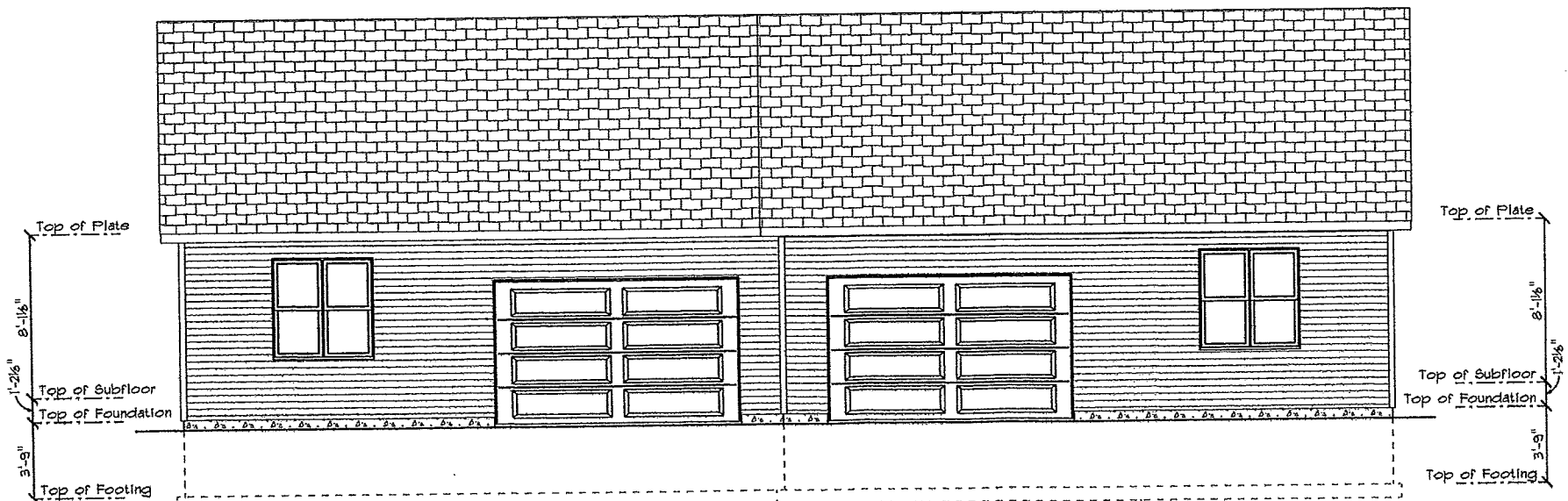


1 EAST ELEVATION
 A3.0 SCALE: 1/8" = 1'-0"

- CONTINUOUS RIDGE ATTIC VENT
- CAP-STYLE ATTIC VENTS PLACED AS SHOWN
- ASPHALT SHINGLE ROOF
- ALUMINUM FASCIA WITH FULLY VENTED SOFFIT
- INSULATED STEEL DOOR WITH HALF-LITES, PAINTED TO MATCH
- TREATED WOOD DECK AND RAIL - FINISHED OR STAINED AS PER OWNER
- VINYL HORIZONTAL SIDING - OR AS SELECTED BY OWNER

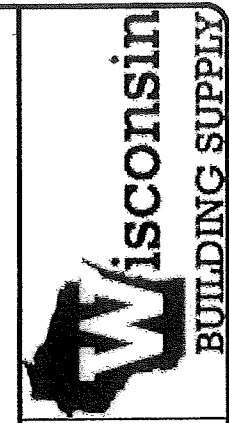


1
A-1 FRONT ELEVATION



2
A-1 BACK ELEVATION

CONSTRUCTION SET 3/25/2020



N5566 FRONTAGE RD.
ONALASKA, WI 54650
608-781-3300

IMPORTANT NOTE:
IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRIMMER SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

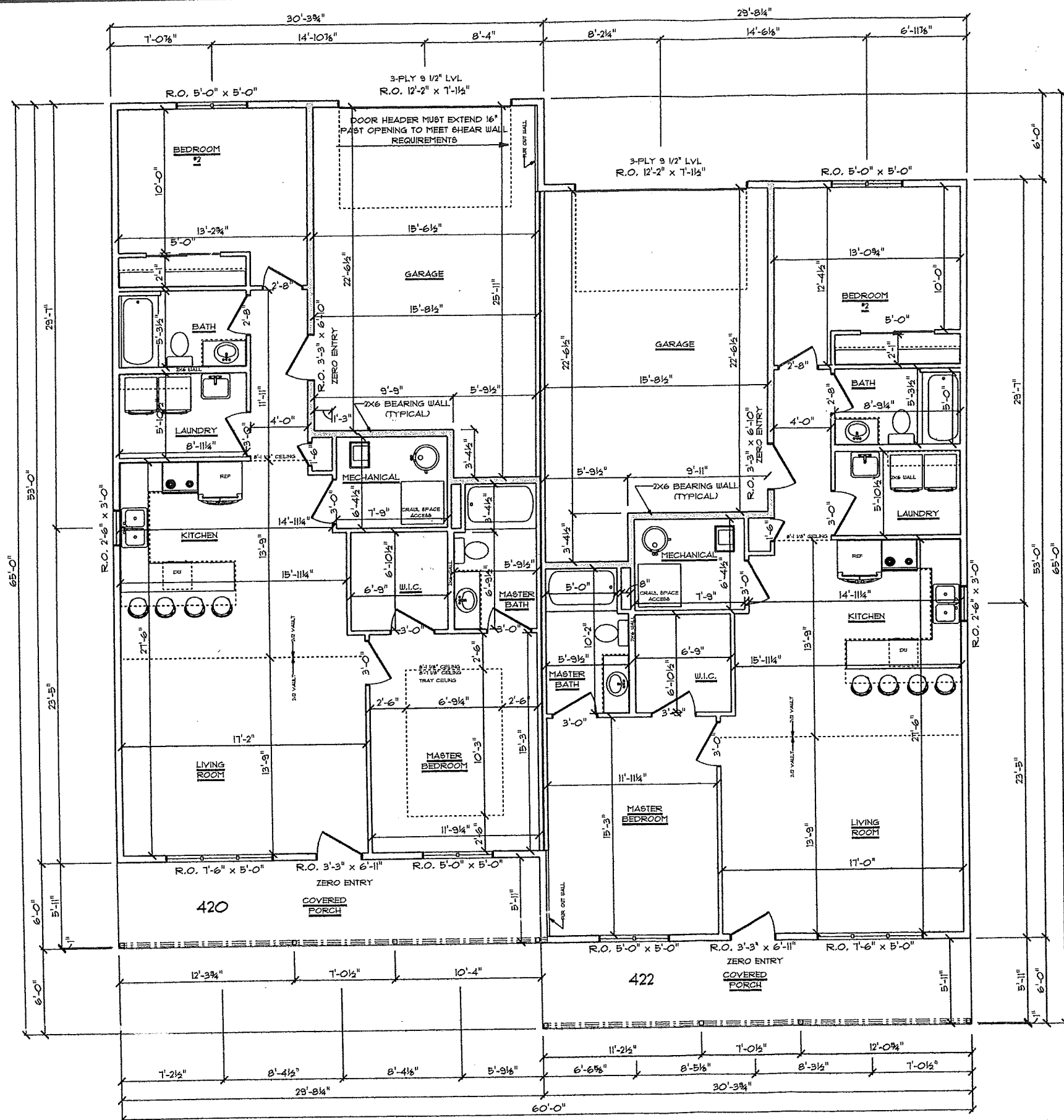
20-025 WHITEHORSE CONST.
420-422 & 424-426 RIDGEWAY AVENUE
CHETEK, WI
DATE PRINTED: Wednesday, March 25, 2020

SCALE:
1/8" = 1'-0"

DRAWN BY: J.B.

SHEET •

A-1



SPECIFICATIONS:
 TOTAL NUMBER OF SILL PLATES: 1
 FLOOR SYSTEM: 11 7/8" I-JOIST 16" O.C.
 FLOOR SHEATHING: 3/4" T&G OSB
 EXTERIOR WALLS:
 FOUNDATION: 6" CONCRETE
 MAIN: 2X6 X 8'-1 1/8" @ 16" O.C.
 GARAGE: 2X6 X 8'-1 1/8" @ 16" O.C.
 EXTERIOR WALL SHEATHING: 7/16" OSB
 HOUSEWRAP: "TYVEK" HOUSEWRAP
 ROOF FRAMING: ENGINEERED TRUSSES @ 24" O.C.
 W/ 1" ENERGY HEELS
 ROOF SHEATHING: 15/32" OSB
 ROOF FELT: 15" FELT
 ROOF INSULATION: R-50 BLOWN IN CELLULOSE WINDOWS:
 L&E DUALPANE W/ ARGON
 EXTERIOR HOUSE DOORS:
 THERMA TRU STEEL DOORS
 GARAGE SERVICE DOORS:
 THERMA TRU STEEL DOORS

UNLESS OTHERWISE NOTED:
 HEADER HEIGHTS
 8'-1 1/8" WALLS 6'-9 3/8"

NOTE:
 DO NOT USE CABINETS ON PLAN FOR REFERENCE. USE SEPARATE CABINET PRINTS.

POCKET DOOR R.O.'S
 2'-0" X 6'-8" = 4'-2" X 1'-0 1/4"
 2'-4" X 6'-8" = 4'-10" X 1'-0 1/4"
 2'-6" X 6'-8" = 5'-2" X 1'-0 1/4"
 2'-8" X 6'-8" = 5'-6" X 1'-0 1/4"
 3'-0" X 6'-8" = 6'-2" X 1'-0 1/4"
FRENCH DOOR R.O.'S
 2'-2 1/2" X 6'-8" = 5'-3" X 82 1/2"
 2'-2 1/8" X 6'-8" = 5'-1" X 82 1/2"

NOTE: 2X6 WALLS ARE DIMENSIONED AS 5 1/2". 2X4 WALLS ARE DIMENSIONED AS 3 1/2". ALL MEASUREMENTS ARE TO FACE OF STUD.

NOTE: EXTERIOR WALL STUD TO BE FLUSH WITH FOUNDATION.

NAME	AREA
MAIN PER SIDE	1218.7 sq. ft.
GARAGE PER SIDE	373.0 sq. ft.

CONSTRUCTION SET 3/25/2020

1 MAIN LEVEL FLOOR PLAN
 A-4



15566 FRONTAGE RD.
 ONALASKA, WI 54650
 608-781-3900

IMPORTANT NOTE:
 IT IS ASSURED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
 IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

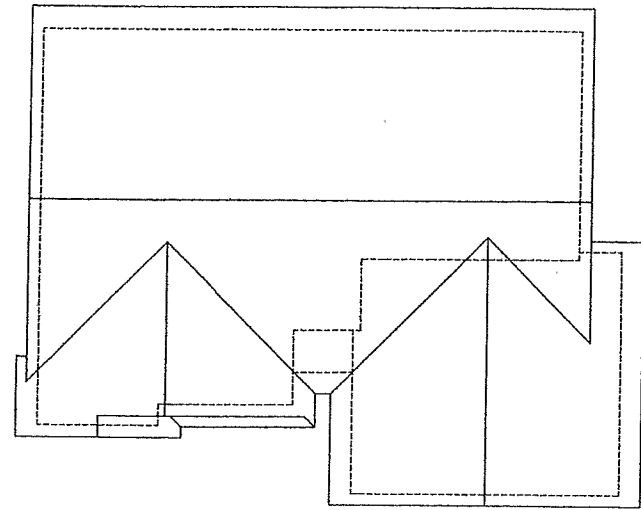
20-025 WHITEHORSE CONST.
 420-422 @ 424-426 RIDGEWAY AVENUE
 CHETEK, WI
 DATE PRINTED: Wednesday, March 25, 2020

SCALE:
 1/8" = 1'-0"

DRAWN BY: J.B.

SHEET #

A-4



ROOF PLAN

3/32" = 1'-0"

1st FLOOR HOUSE VENTILATION CALCULATIONS

AREA IN SQUARE INCHES OF UPPER ROOF VENTING	AREA	1615 SQ. FT.
		388 SQ. IN.
RIDGEVENT REQUIRED @ 11 SQ. IN. OF VENTING PER FOOT		35 FEET
RIDGE LENGTH TOTAL		51 FEET
OR		
RIDGE POTS REQUIRED @ 50 SQ.IN. OF VENTING PER POT		8 COUNT

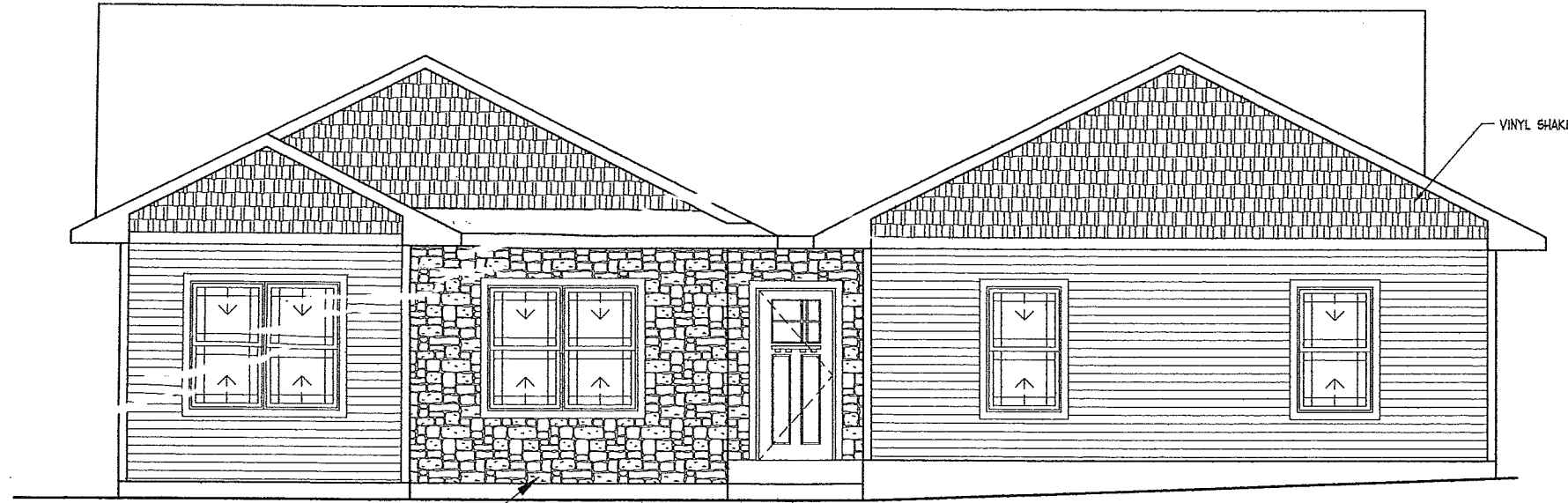
GARAGE VENTILATION CALCULATIONS

AREA IN SQUARE INCHES OF UPPER ROOF VENTING	AREA	623 SQ. FT.
		150 SQ. IN.
RIDGEVENT REQUIRED @ 11 SQ. IN. OF VENTING PER FOOT		14 FEET
RIDGE LENGTH TOTAL		25 FEET
OR		
RIDGE POTS REQUIRED @ 50 SQ.IN. OF VENTING PER POT		3 COUNT

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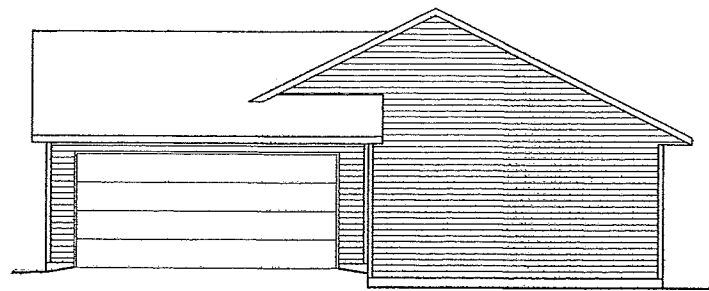
Amwood Custom Homes
 P.O. Box 311 - Jamesville, WI 53547-0311
 608-756-2989 fax: 608-756-3443
 www.amwoodhomes.com



FRONT ELEVATION

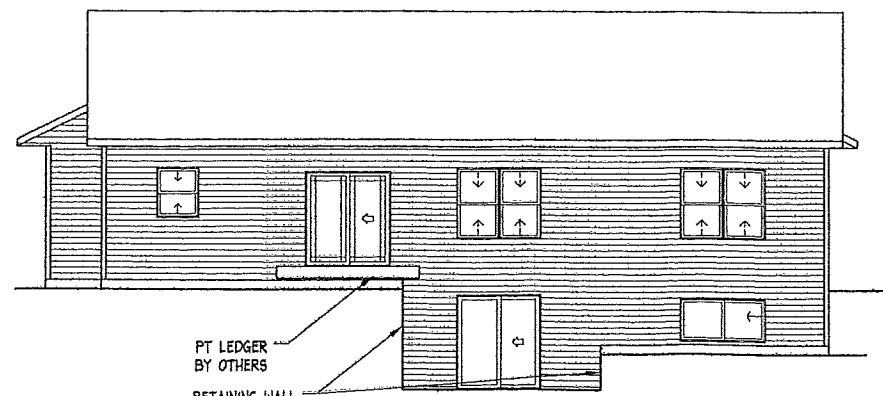
1/4" = 1'-0"

STONE BY OTHERS



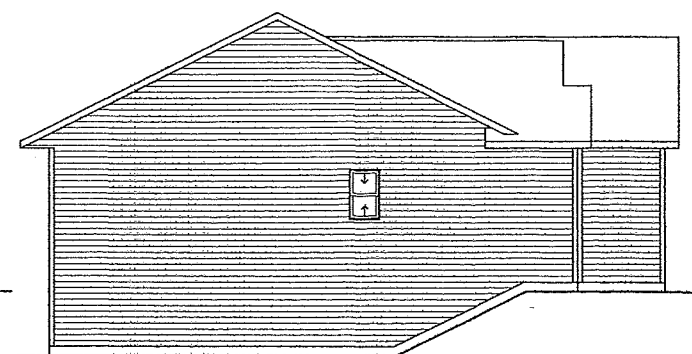
RIGHT ELEVATION

1/8" = 1'-0"



REAR ELEVATION

1/8" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"

ELEVATIONS

GENERAL NOTATIONS:

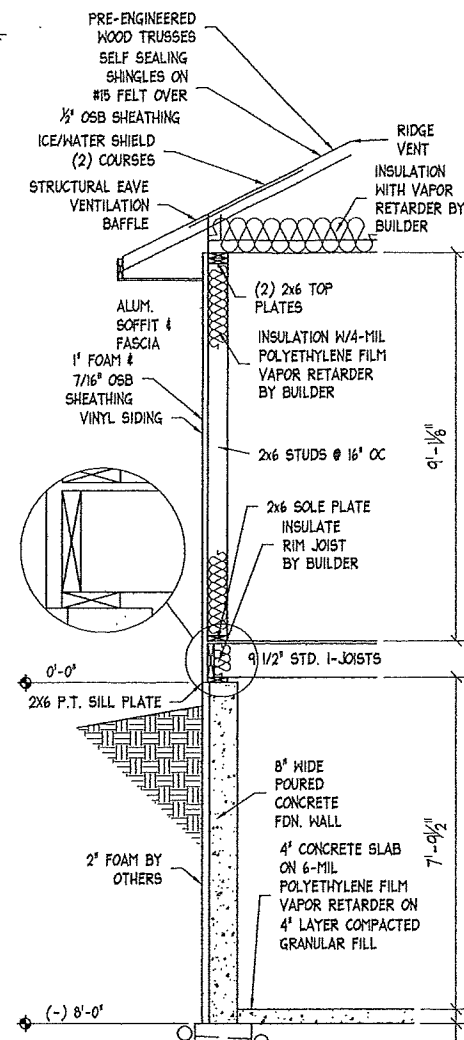
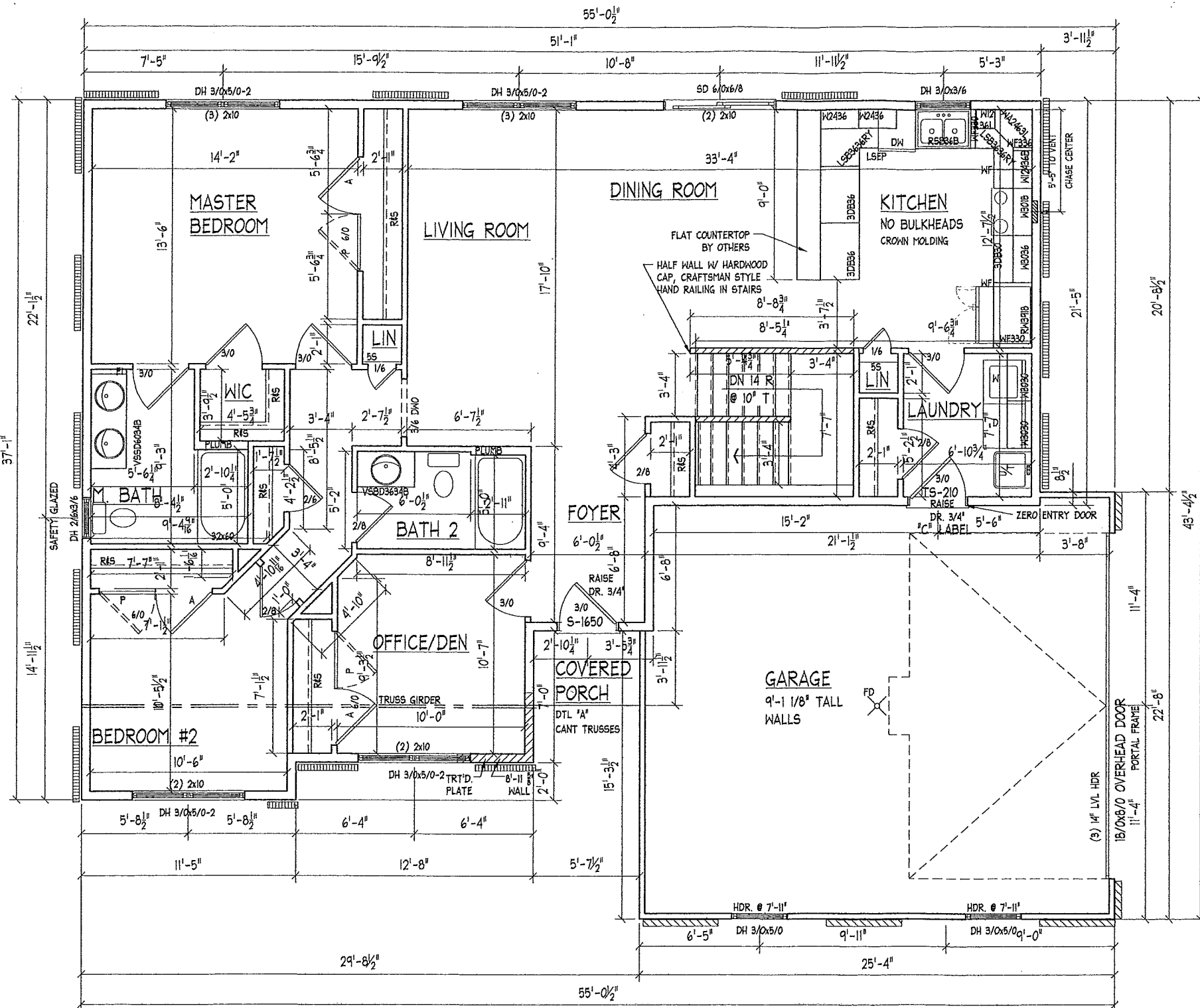
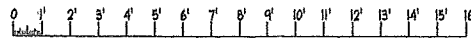
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OR CUSTOMARY

TITLE: WHITEHORSE CONSTRUCTION MANAGEMENT / SPEC

CODE	BY	DATE	CODE	BY	DATE
Plan / Custom	RWD	04/11/17	Processor	RWD	04/11/17
Revision			Revision	RWD	05/08/17
Revision			Revision		
Revision			Foundation		

Cust. No.	9300
F.O. No.	9266
Job No.	ECL-701



NOTE: REGARDLESS OF DETAILS, BOTTOM OF FOOTINGS SHALL BE PLACED ON FIRM UNDISTURBED SOIL.

NOTE: CONCRETE FOOTINGS AND SLABS SHALL BE REINFORCED IN ACCORDANCE WITH LOCAL AND / OR STATE BUILDING CODES.

TYPICAL WALL SECTION
3/8" = 1'-0"

CHECKED BY

Amwood Custom Homes
P.O. Box 311 - Jamesville, WI 53547-0311
608-756-2989 fax: 608-756-3443
www.amwoodhomes.com

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GENERAL NOTATIONS:

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TITLE: WHITEHORSE CONSTRUCTION MANAGEMENT / SPEC

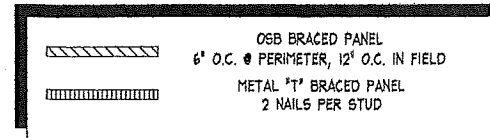
CODE	BY	DATE	CODE	BY	DATE
Plan / Custom	RWD	04/17/17	Processor	RWD	04/17/17
Revision	RWD	05/08/17	Revision	RWD	05/08/17
Revision			Revision		
Revision			Foundation		

Cust. No.	9300.
F.O. No.	9266
Job No.	ECL-701
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NOTES:

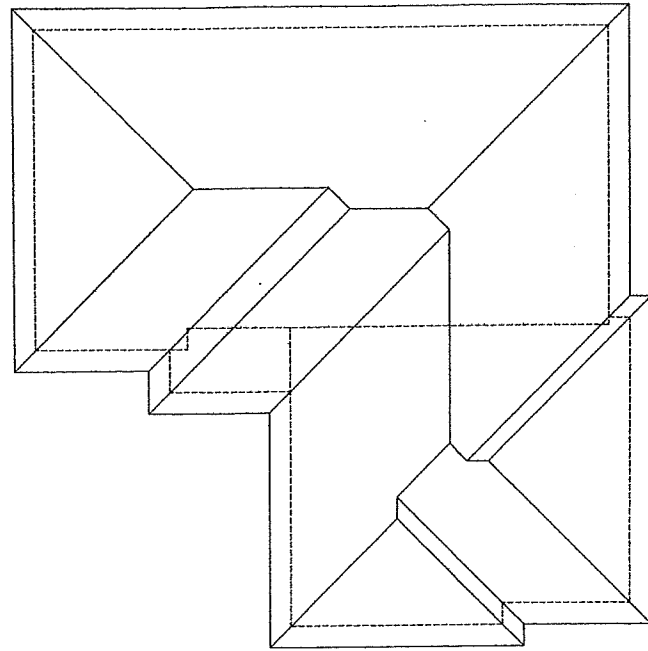
- 1) FLOOR SQUARE FOOTAGE IS CALCULATED TO SHEATHING FACE
- 2) EXTERIOR DIMENSIONS ARE TO STUD FACE UNLESS NOTED, INTERIOR DIMENSIONS ARE TO STUD FACE
- 3) WALL INSULATION BY OTHERS - AMWOOD TO INSULATE CORNERS AND TUB/SHOWER AREAS
- 4) LOAD-BEARING DOOR AND WINDOW HEADERS TO BE (2) 2x10 #2 & BTR SPF UNLESS NOTED

EXTERIOR DIMENSIONS ARE TO STUD FACE

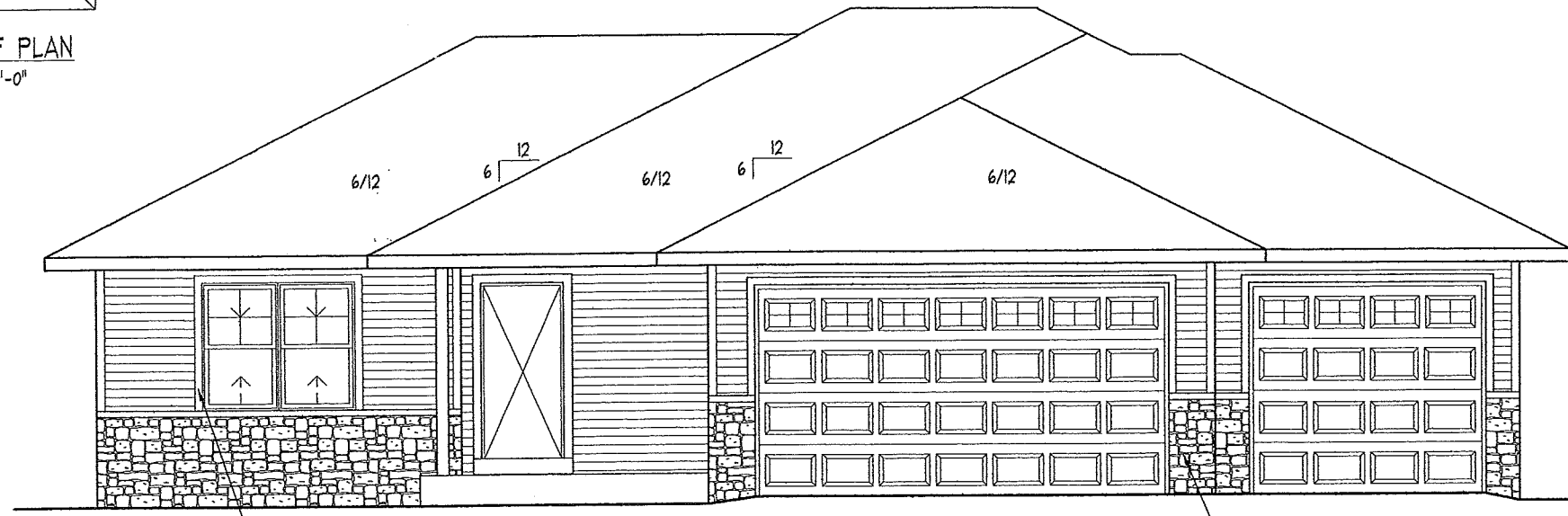
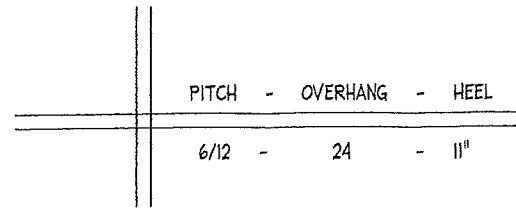


FLOOR PLAN

1510 SQ. FT. 1/4" = 1'-0"



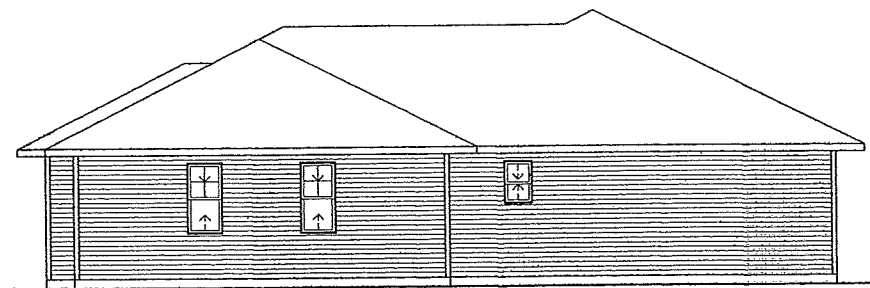
ROOF PLAN
3/32" = 1'-0"



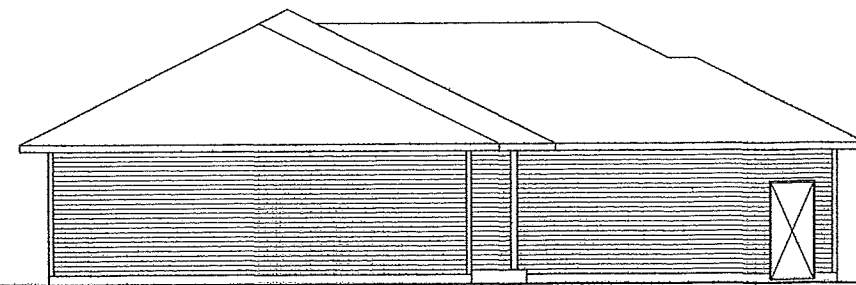
FRONT ELEVATION
1/4" = 1'-0"

LP SMARTSIDE TRIM WINDOW AND DOOR SURROUNDS BY AMWOOD

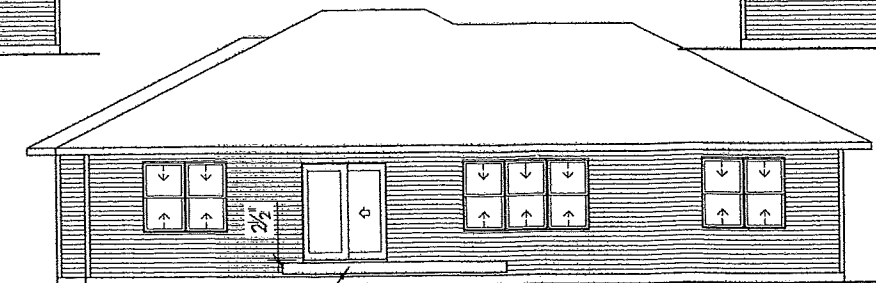
STONE VENEER AND CAP, BY OTHERS



RIGHT ELEVATION
1/8" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"

16'-0" P.T. DECK LEDGER, BY AMWOOD, ATTACH W/ LEDGER SCREENS

1st FLOOR HOUSE VENTILATION CALCULATIONS

AREA	1896 SQ. FT.
AREA IN SQUARE INCHES OF UPPER ROOF VENTING	455 SQ. IN.
RIDGEVENT REQUIRED @ 11 SQ. IN. OF VENTING PER FOOT	41 FEET
RIDGE LENGTH TOTAL	24 FEET
OR	
RIDGE POTS REQUIRED @ 50 SQ.IN. OF VENTING PER POT	9 COUNT

GARAGE VENTILATION CALCULATIONS

AREA	1047 SQ. FT.
AREA IN SQUARE INCHES OF UPPER ROOF VENTING	251 SQ. IN.
RIDGEVENT REQUIRED @ 11 SQ. IN. OF VENTING PER FOOT	23 FEET
RIDGE LENGTH TOTAL	15 FEET
OR	
RIDGE POTS REQUIRED @ 50 SQ.IN. OF VENTING PER POT	5 COUNT

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CHECKED BY

Amwood Custom Homes
P.O. Box 311 - Janesville, WI 53547-0311
608-756-2989 fax: 608-756-3443
www.amwoodhomes.com

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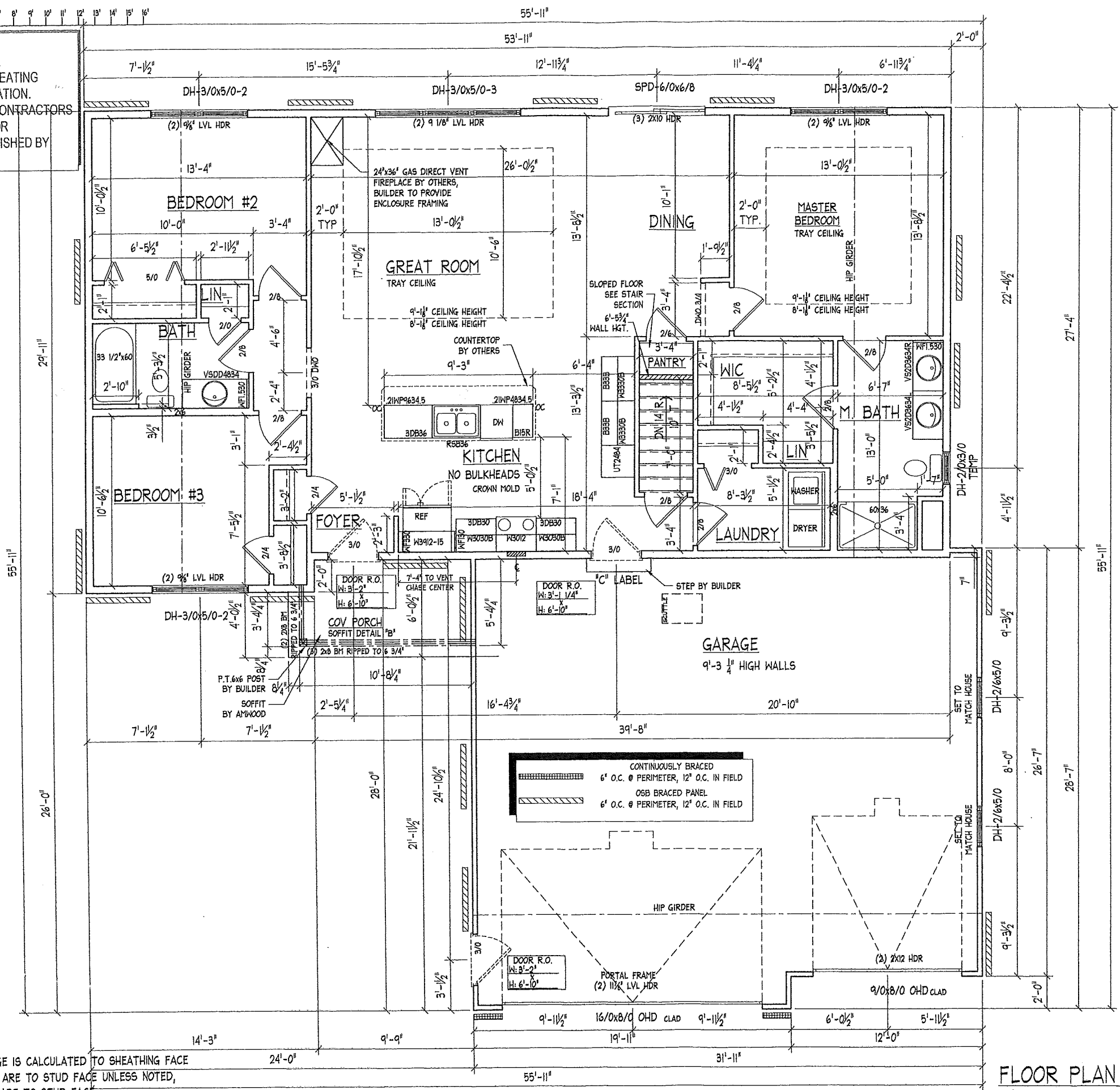
TITLE: WHITEHORSE CONSTRUCTION/SPEC-LOT 04 SPEC

CODE	BY	DATE	BY	DATE
Plan / Custom	RND	10/24/18	RND	10/02/18
Revision	RND	10/25/18	RND	10/12/18
Revision	RND		RND	10/18/18
Revision	JDS		JDS	12/03/18

Cust. No.	9791
F.O. No.	9750
Job No.	ECL-1802
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ELEVATIONS

NOTE:
THIS PLAN MAY REQUIRE
MODIFICATION DUE TO HEATING
AND PLUMBING INSTALLATION.
LAYOUT BY THESE SUBCONTRACTORS
MAY REQUIRE CHASES OR
BULKHEADS TO BE FURNISHED BY
THE BUILDER.



- NOTES:
- 1) FLOOR SQUARE FOOTAGE IS CALCULATED TO SHEATHING FACE
 - 2) EXTERIOR DIMENSIONS ARE TO STUD FACE UNLESS NOTED, INTERIOR DIMENSIONS ARE TO STUD FACE
 - 3) WALL INSULATION BY OTHERS - AMWOOD TO INSULATE CORNERS AND TUB/SHOWER AREAS
 - 4) LOAD-BEARING DOOR AND WINDOW HEADERS TO BE (2) 2x10 #2 & BTR SPF UNLESS NOTED

EXTERIOR DIMENSIONS ARE TO STUD FACE

FLOOR PLAN

1541 SQ. FT. 1/4" = 1'-0"

CHECKED BY

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WHITEHORSE CONSTRUCTION/SPEC-LOT 04 SPEC

CODE	BY	DATE	CODE	BY	DATE
Plan / Custom	RWD	10/24/16	Processor	RWD	10/02/16
Revision	RWD	10/12/16	Revision	RWD	10/12/16
Revision	RWD	10/25/16	Revision	RWD	10/18/16
Revision	RWD		Foundation	JDS	12/03/16

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